Page 1: DRC Vacation / Agreements - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department	
Case Number	
Date of complete submittal	3-25-2015
NOTE: For purpose of identification, the PR	OPERTY OWNER is the APPLICANT
Property Owner's Name	LONDEN CITY CENTER F-55007/1783
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	704 NE IST, STREET
E-mail Address	MEW @ MEWCI. COM
Phone Number	561 - 756 1983
Proof of Ownership	Warranty Deed or Tax Record
NOTE: If AGENT is to represent OWNER,	notarized letter of consent is required
Applicant / Agent's Name	MICHAEL E WOOD
Applicant / Agent's Signature	Chine & work
Address, City, State, Zip	18516 OCLAN MIST DR. BOCA DATEN, FT. 33498
E-mail Address	MEWO MEWCI. COM
Phone Number	561 - 756 - 1983
Letter of Consent Submitted	REQUESTED
	8th ANE DONIGHOUS
Development / Project Name	Now:
Development / Project Address Legal Description	EAGURE & STATE OF THE STATE OF
Legal Description	LOT 5 BIR 6 DAVIS ADDITIONS
Tax ID Folio Numbers (For all parcels in development)	5042 02 05 0470
为的人的内心的人的	1 11 60
Request / Description of Project	UtilizATION OF SUSTOCI LOT TOR
	Utilization of Subject Lot for. Offsile Pareline For Gust of 8th Ave Pesidence
Applicable ULDR Sections	
Total Estimated Cost of Project	\$ 10,000 (Including land costs)
Total Estimated Gost of Fisject	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Current Land Use Designation	
Current Zoning Designation	
Current Use of Property	
	wish to be included in the request, if applicable. Use additional sheets if necessary.
	Folio Number Subdivision Block Lot
Name and Signature	1 CONTRACTOR CONTRACTO

NOTE: Applicant must indicate if/how the following provisions are met:

- All utilities (list below) located within the easement and/or right-of-way must be relocated pursuant to a relocation plan; and
- 2. The owner of the utility facilities must consent to the vacation; or
- 3. A utilities easement must be retained over the area or portion thereof; or
- 4. An easement in a different location must be provided for the utility facilities by the owner to the satisfaction of the City; or
- 5. Any combination of same and utilities maintenance are not disrupted.
- Applicants shall satisfactorily support vacation requests by addressing each point listed in Sections 47-24.6 and 47-24.7 of the city's Unified Land Development Regulations (ULDR) as applicable.

TECO, Peoples Gas 5101 NW 21st Avenue Fort Lauderdale, FL 33309 (954) 453-0817, (954) 453-0804 fax

Florida Power and Light Service Planning 3020 N.W. 19 St. Fort Lauderdale, FL 33311 (954) 717-2057, (954) 717-2118 fax **BellSouth** 8601 W. Sunrise Blvd., 2nd Floor Plantation, FL 33322 (954) 476-2909

Comcast, Inc. 2501 SW 145 Ave, Suite 200 Miramar, FL 33027 (954) 534-7417, (954) 534-7083 fax

AND 10 RRE CONTIGUOUS TO ERCH OTHER.

3. LOTS 12, 12, 8, RECHEST DOCUMENT CORP. 10 ERCH OTHER, LOTS 9, 8,9,1

4. RESTRUCTIONS, IRANY, CONTRIVEN WE SED GOOK 10, PAGE 185, 8C R. MAY.

3. WHOSEREDUND IMPROVEHENING TO SED GOOK 10, PAGE 185, 8C R. MAY.

3. WHOSEREDUND IMPROVEHENING.

F. THEEE ARE NO CONSTANT COMESTAL THE STATE OF DUNKERSHIP.

7. BOUNDARY SUMPLY HAVE COMESTAL OF THEER TITLE OF DUNKERSHIP.

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RECORNER OF SE BIN WAFE FOR SINGLATE DATUM (1929) F ARE INDICATED THUS: NOTE: ELEVATIONS SHOWN REFER TO NATIONAL GEODETIC VERTICAL

DOD N.E. SEW AVE, (305) 723-7611 DOD N.E. SEW AVE, FT LAUDERDALE, FLORIOA.

ENGINEERS & SURVEYORS

M.LAUGHLIN ENGINEERS CO.

This property is designated as flood zone A.E. elevation 7.0, per Flood Insurance Raic Map, Community Panel No. 125 105; Map No. 12011(C218F), dated August 8, 1992.

X8 0387d38d

WCLAUGHLIN-ENGINEEBING COMPANY

Me 3356, Stole of Florido

Me 3356, Stole of Florido

Me 3356, Stole of Florido

Dated at Fort Lauderdale, Florida this 21 # CAY OF FEBRUARY, 1994.

We hereby certify that this survey meets the minimum technical standards as set forth by the Piotaid Board of Protedations Land Gurvegors in Chapter (19176, Florida Administrative Code, pursuant to Section 472.027, Florida Stanties.

BUILDING SOURRE FOOTAGES ADDEDTHIS 97H DAY OF FEDRUARY, 2011 (NOT RESURVEYED). Revises Surveyor's Certificate Certification this Sern day of February, 1994.
A Evisen To A DB Course Unity Note Twis 25 TB DAY OF ASSELVARY, 1994.

RESURVEYED THIS 21 TO DRY OF FEBRURRY, 1994. Elevations added to paving in lofs 1, 2,3, and 4 this 24th day of August, 1989

Doted at Fort Lauderdale, Florido, this 8th day of March, 1989.

We hereby certify that we have this day completed a survey of the about described premises, that morkers have been set as indicated and this faminaum this faming is a free and correct destincation thareat and meets the Minimum Technical Standacrds set forth by the florida Booord of Land Surveyors, Increased of Secretary forth by the florida Booord of Land Surveyors,

FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

FLORIDA, according to the plot thereof, as recorded in Plot Book 3, Page 28, of Bade County, Florida. Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10, Block 6, DAVIS ADDITION TO FORT LAUDERDALE,

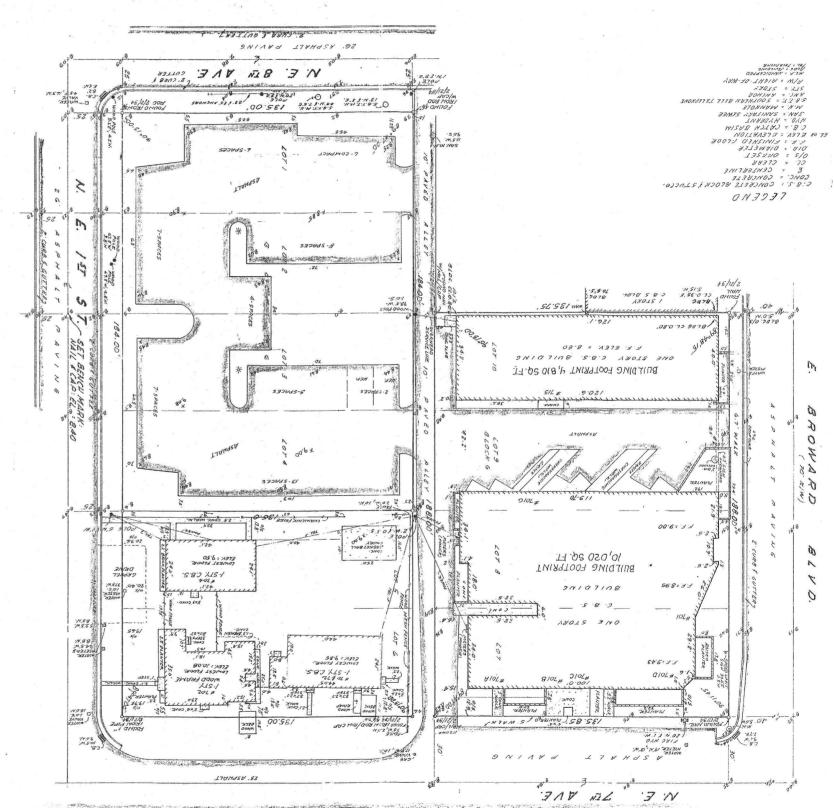
4. That the survey shows established building lines.

That he survey shous the location of all measure tights—of-way, including all emeshents and tights in shown as exceptions on the locteder little in CASK NO.94 00347.4. A Dated Annual K. Name wiltten on Lawyers Title Insurance Corporation:

ge pereph cercity;

This certificate and the attached survey are made for the benefit

CILK OF FI LAUDERDALE, BROWARD COUNTY, FLORIDA. DAVIS ADDITION TO FT LAUDERDALE PORTION OF BLOCK 20 KBAEK OE



OZ= .. / : 37035

OCATION MAN

UNITESS OTHERWISE INDICATED
CAP/NOCLALIN

INDICATES MARKER



DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: April 28, 2015

Lauderdale City Center Associates / 8th Avenue

Project Name: Residences

Case Number: PRW15006

Property and Right-of-Way Discussion Item:

Request: Temporary off-site Parking and Staging for

construction project

Location: 702 NE 1st Street

Zoning: Boulevard Business (B-1)

Medium-High

Land Use:

Project Planner: Alex Scheffer

Case Number: PRW15006

Division: ENGINEERING
Member: Alex Scheffer
ascheffer@fortlauderdale.gov

954-828-5123

CASE COMMENTS:

Please provide a response to each of the following comments:

- 1. Provide drawing and a narrative showing/discussing the area and proposed work activities. Please identify all components of the public right-of-way, including fire hydrant, driveway, catch basins, manholes, sanitary cleanouts, metered parking spaces, and all underground utilities within the proposed closure area. Closures shall not encroach or affect the site triangles at any time.
- Please discuss the status of the metered on-street parallel parking spaces affected by the proposed closure with the City's Transportation Mobility Department. Please pay all fees associated with this parking space closures as required by TAM.
- 3. Please be advised that a Building Permit will need to be issued for temporary fencing and screening of the property. Please contact Alex Hernandez Assistant Building Official at ahernandez@fortlauderdale.gov or 954 828-5275 for details on submittal requirements.
- 4. Provide a Truck Routing / Parking Plan to discuss the parking on-site with this development of the property. Discuss the property improvements proposed, such as but not limited to: temporary paving, gravel, silt fence, etc.
- 5. Provide details on how stormwater will be retained and maintained on-site.
- 6. Provide details in Truck Routing / Parking Plan to show how the neighborhood impact will be minimized and what routes to the construction project will be utilized.
- 7. Traffic and pedestrian control and detour plan (Maintenance of Traffic Plan-MOT) shall be provided for all work within the right-of-way, and shall be in accordance with the most recent Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD). A traffic and pedestrian control plan shall be submitted and approved prior to the approval of the right-of-way permit. Please submit the MOT Plan, as well as the complete MOT Routing Form, which can be found on the City's Website, to Mr. Heslop Daley at the City's Transportation & Mobility Department for his approval. He can be reached at (954) 828-5734 or hdaley@fortlauderdale.gov.



Division: UTILITIES

Member: Keith Hutchison

khutchison@fortlauderdale.gov

954-828-7682

Case Number: PRW15006

CASE COMMENTS:

Please provide a response to the following:

 There are no conflicts with any utilities as long as the contractor is not excavating. (See attachment).
 Public Works Atlas 025042

Or

NONE - Signature NOT required.